

Monday, November 2, 2009

Dave Owner
Director of Facilities
Multi-unit Apartments
222 Beautiful Road
Santa Cruz, California 95065

RE: Apartment Deck Repair Assessment
Section I of IV

Site Address: 222 Beautiful Road, Santa Cruz
Report Title: Report of Findings from Inspection of 206 Decks

Dear Mr. Owner:

We were asked by you to perform site inspections of the adjoining deck to each apartment unit, assess for possible needed repairs using a rating system, and photo-document site conditions. This report comprises our findings.

Throughout this report we refer to ourselves as MFC and Mr. Owner as Owner.

This report has four sections. In short, Section I summarizes our findings and provides background information to this assignment; Section II has two apartment unit findings summary reports (one which groups units by wing and one categorized by rating); Section III contains our Inspection notes for each unit; and Section IV is our photos, by wing and unit, on DVDs.

Summary:

MFC completed the inspection of 206 decks:
17 have Minor or No Repairs recommended;
28 have Minor Finish Carpentry Repairs recommended;
45 have Moderate Finish and Moderate Framing Repairs recommended;
41 have Major Finish Carpentry and Moderate Framing Repairs recommended; and
75 have Immediate, Major Finish Carpentry and Framing Repairs recommended.

Conclusions:

Approximately 36% of the decks had a rating of 5 which, in our opinion, require immediate attention.

Had we been able to completely expose the structural posts and beams (limited due to finishes) at the cavity areas of the railing wall (adjacent to the beam and post), it is highly probable, in our opinion, that some of the decks would reveal further damages and thus receive a higher rating than 2 through 4.

We observed infestation of ants, varying levels of termite evidence, and fungus at many deck locations. These findings are often indicative of wood that is subjected to prolonged wetness.

We observed certain damage patterns repeated at many decks that, in our opinion, resulted from the existing design of the deck assembly. Some of the same damage patterns were returning at the decks that recently underwent complete repairs. Within a few years, they will more than likely obtain a higher rating than the one they were given currently.

The design problems are basically the same throughout the complex. Eventually, most, if not all, of the decks with low ratings now will have high ratings in the future. Though it may be prudent to fix just the worst decks first, we recommend that Mr. Owner consider repairing all of them over time - sooner, rather than later. Repairs should be done with better specifications than were used in the original construction.

We would welcome an opportunity to work on those details and/or review the repair process.

COMMENTS:

History:

This is an apartment complex that consists of four wings: A, B, C, D. We understand, from you, that the C & D wings were constructed in 1988 and A & B wings in 1989. Each wing consists of an interior hallway, apartments on both sides of the hallway, and two or three elevations.

We were first asked to inspect the site on 9/9/09.

We were shown the grounds and deck structures by Mr. Owner, Director of Facilities, on 9/14/09.

We performed a mock inspection, on 9/16/09, on an unoccupied unit assigned to us by Mr. Owner.

We understand, from you, that several of the decks with the shared wall design had recently undergone complete repairs.

Site Inspections:

Attending the Site Inspections were Daniel Alcocer (MFC), Tom Baker (MFC), and Chris McDougall (MFC).

MFC was on site on 18 separate dates in September and October 2009, according to the schedule provided by MFC. Each deck was accessed primarily through the apartment (wearing shoe protection), accompanied by an escort (provided by owner) who remained close by.

Each deck inspection was completed on the same day that it was started, to ensure that components of the deck assembly and underlying structures were adequately documented, according to the current conditions at the time of inspection.

We observed many design variations in the decks, with respect to the orientation of the building, including shared walls between adjacent decks at some locations. Each apartment had either a ground level patio (referred to as "lower deck" in Section III) or an elevated deck (referred to as "upper deck" or "mid story deck" in Section III). Each deck was photographed with a date-of-inspection reference (see attached DVDs - Section IV).

Each area of the deck was included in the comprehensive inspection. Personal belongings were carefully removed as needed and placed back to their original location, as best as possible. Where it was not possible to inspect the deck areas near to personal belongings, we employed tactful maneuvering or special tools to inspect those areas.

The trim, siding, shingles, hardware, joists, and deck boards were inspected on the exposed sides. The inspection of the structural posts and beams was limited at the cavity areas of the railing wall, adjacent to the beam and post.

On many of the decks we inspected, construction components such as rail caps, beam caps, and sections of trim were removed to confirm termite activity, decay, beam damage, and framing damage. While every effort was made to remove and reinstall these components carefully, some areas disassembled (to investigate the framing beneath) had unforeseeable extensive decay: upon removing the components, they disintegrated. The beams and framing behind them are now subject, in a very small degree, to further damage from water intrusion.

We rated the overall existing condition of the finish carpentry and framing on a scale from 1-5, with 1 being no or very minor work recommended, and with 5 being immediate work recommended.

Our site notes are attached as Section III. We created and used custom inspection forms, which we hoped would make it easy to follow with our review of the decks and/or repairs.

Exclusions:

1. Review or analysis of original construction documents
2. Pertinent findings, if any, of the building exterior/interior other than the deck.
3. Review or analysis of any previous repairs.
4. Repair design; scope of work.

Limitations and Assumptions to the Report

The exterior of the units, adjacent to the decks, were not specifically inspected. If we noticed any obvious problems we have noted them on our inspection forms. The interior of the residential areas, adjacent to the decks or patios, were not inspected.

Areas of assembly that are not visible: We looked into the cavities in some places on the decks but cannot be certain that where we looked will be exactly where rot or other problems may exist.

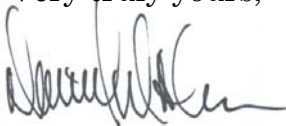
This Study is not to be construed as a guarantee or warranty, nor as an opinion as to the ultimate life span or safety of the patios or decks.

No reliance on this report will be made by anyone other than the client for whom it was written. We have made reasonable efforts to assure that this report is accurate; however, we cannot assume any liability for damages which may result from it or for any conditions which this report may fail to disclose.

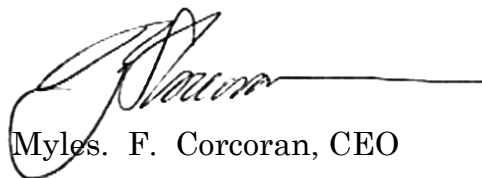
The information contained in this report is deemed reliable as of the dates of inspections, but it is not guaranteed. Our conclusions and recommendations are based on our on site visual inspections, our limited destructive investigations and on professional conjecture where necessary.

This report does not warrant against the contingency of unforeseen conditions or circumstances. We are not responsible for acts of omissions of the client nor of third parties not under our direct control. The scope of this report is expressly limited to the components described herein.

Very truly yours,



Daniel Alcocer
Inspector/Consultant



Myles. F. Corcoran, CEO

██████████ - Apartment Deck Repair Assessment
██████████, Santa Cruz, California
Summary Table Grouped by Building - Section II of IV

11/02/09

Page 1 of 12

Field Name	Description
MFC #:	This is our database designation.
Bldg.:	This is the Building/Wing Letter Designation.
Unit:	This is the Unit number.
Floor:	This is the Floor the Unit is on.
Rating:	Here we summarize our findings for the referenced deck, into one of the following categories: 1: Minor or No Repairs recommended. 2: Minor Finish Carpentry Repairs are recommended. 3: Moderate Finish Carpentry and Minor Framing Repairs are recommended. 4: Major Finish Carpentry Repairs and Moderate Framing Repairs are recommended. 5: Immediate Major Finish Carpentry & Major Framing Repairs are recommended.
Comment:	Here we include a text comment about the deck.

Building: A

Count(Building): 42

MFC #	Bldg.	Unit	Floor	Rating	Comment
1	A	102	1	4	
2	A	104	1	4	
3	A	106	1	5	Ant colony in walls. Post decay. Loose wall attachment.
4	A	108	1	2	
5	A	110	1	3	Rail cap has been painted with enamel spray paint, overspray visible on shingles etc.
6	A	112	1	3	Ant infestation in wall.
7	A	114	1	5	Extensive decay in adjoining wall.
8	A	116	1	5	Extensive decay in adjoining wall, framing damage.
9	A	117	1	5	Extensive post decay.
10	A	201	2	4	
11	A	202	2	2	Nails protruding from decking. Wide gaps in decking.
12	A	203	2	4	

██████████ - Apartment Deck Repair Assessment
██████████, Santa Cruz, California
Summary Table Grouped by Building - Section II of IV

11/02/09

Page 2 of 12

Building: A

Count(Building): 42

MFC #	Bldg.	Unit	Floor	Rating	Comment
13	A	204	2	3	Nails protruding from decking, very worn deck surface.
14	A	205	2	4	
15	A	206	2	5	Doubled joists have decay between the joists and are retaining water. Extensive termite damage to Glu-lam beam and joist system. Nails protruding from decking.
16	A	207	2	4	Carpet installed over concrete slab.
17	A	208	2	4	Rail cap is new. Hardware nails are protruding. Significant termites in beam cap, beam, and bottom plate.
18	A	209	2	5	Extensive decay in adjoining wall.
19	A	210	2	3	Nails protruding from decking, wide gaps in decking.
20	A	211	2	5	Extensive decay in adjoining wall.
21	A	212	2	4	Ant infestation in beam, nails protruding from decking.
22	A	213	2	4	
23	A	214	2	5	Beam decay, bottom plate decay, loose wall attachment.
24	A	216	2	5	Beam decay, wide gaps in decking.
25	A	217	2	4	Nails protruding from decking.
26	A	301	3	3	Nails protruding from decking. Nails protruding from joist hangars.
27	A	302	3	3	New rail cap, interior siding and trim. Very worn/splitting deck surface.
28	A	303	3	4	Missing joist hangar nails at beam connection. Very worn deck surface.
29	A	304	3	3	New rail cap, interior siding and trim. Very worn deck surface.
30	A	305	3	5	Debris in sprinkler head. Nails protruding from decking. Severe beam decay, ant colony, and fungus.
31	A	306	3	5	Nails protruding from decking. Glu-lam, bottom plate, and post decay.
32	A	307	3	5	Nails protruding from decking. Debris in sprinkler head. Beam, bottom plate, and decking decay.

[REDACTED] - Apartment Deck Repair Assessment
[REDACTED], Santa Cruz, California
Summary Table Grouped by Building - Section II of IV

11/02/09

Page 3 of 12

Building: A

Count(Building): 42

MFC #	Bldg.	Unit	Floor	Rating	Comment
33	A	308	3	3	Nails protruding from decking, hardware nails are protruding.
34	A	309	3	5	Recently replaced rail cap. Very worn deck surface. Nails protruding from decking. Beam and bottom plate decay.
35	A	310	3	5	Hardware nails protruding, debris in sprinkler head, extensive decay to beam (support posts appear to be intact). Wide gaps in decking, nails protruding from decking.
36	A	311	3	5	Beam decay, frame decay.
37	A	312	3	3	Hardware nail protruding, wide gaps in decking, beam vents falling out, very worn decking.
38	A	313	3	2	Nails protruding from decking. Debris in sprinkler head.
39	A	314	3	4	Nail protruding from decking, very worn deck surface.
40	A	315	3	3	Very worn deck surface.
41	A	316	3	3	Nails protruding from decking. Debris in sprinkler head.
42	A	317	3	3	Nails protruding from decking, very worn deck surface.

Building: B

Count(Building): 56

MFC #	Bldg.	Unit	Floor	Rating	Comment
43	B	102	1	3	
44	B	104	1	1	
45	B	105	1	2	
46	B	107	1	2	Probable new bottom plate on wall.
47	B	108	1	4	
48	B	110	1	4	Stucco weep screed installed at rail cap interior.
49	B	112	1	3	
50	B	114	1	1	Mesh has been added above handrail.
51	B	116	1	1	

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for purposes of this sample

████████████████████ - Apartment Deck Repair Assessment

████████████████████ Santa Cruz, California

Summary Table by Rating - Section II of IV

11/02/09

Page 1 of 11

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Comment:	Here we include a text comment about the deck.

Rating: 1

Count(Rating):17

MFC #	Bldg.	Unit	Floor	Rating	Comment
44	B	104	1	1	
50	B	114	1	1	Mesh has been added above handrail.
51	B	116	1	1	
53	B	120	1	1	Carpet laid over concrete floor.
57	B	203	2	1	New rail cap and interior siding. Recent caulking.
60	B	206	2	1	New rail cap, interior siding, and trim. New post.
65	B	211	2	1	
67	B	213	2	1	New rail cap, trim, shingles, interior siding, and trim.
70	B	216	2	1	
87	B	311	3	1	New shingles, rail cap, interior siding, and trim. New cap at adjoining wall.

██████████ - Apartment Deck Repair Assessment
██████████, Santa Cruz, California

11/02/09

Summary Table by Rating - Section II of IV

Page 2 of 11

Rating: 1

Count(Rating):17

MFC #	Bldg.	Unit	Floor	Rating	Comment
89	B	313	3	1	New rail cap, some new siding and trim. New shingles. New post cap/beam saddle.
141	C	214	2	1	Recently replaced interior siding, trim, and rail cap. Recently replaced exterior shingles, beam, and beam cap.
142	C	215	2	1	Some joists appear recently replaced. Recently replaced interior siding, rail cap, and trim. Recently replaced beam and beam cap.
165	C	304	3	1	Nails protruding from decking.
172	D	106	1	1	
202	D	216	2	1	Right railing has new vertical cap and trim (as viewed from interior). Glass handrail "squeaks" when moved.
206	D	220	2	1	Rail cap was recently replaced, new shingles at exterior. Beam is "checked" at interior.

Rating: 2

Count(Rating):28

MFC #	Bldg.	Unit	Floor	Rating	Comment
4	A	108	1	2	
11	A	202	2	2	Nails protruding from decking. Wide gaps in decking.
38	A	313	3	2	Nails protruding from decking. Debris in sprinkler head.
45	B	105	1	2	
46	B	107	1	2	Probable new bottom plate on wall.
52	B	118	1	2	Carpet laid over concrete floor.
66	B	212	2	2	
68	B	214	2	2	
99	C	106	1	2	
105	C	112	1	2	
108	C	115	1	2	Recently replaced rail cap and exterior trim.
121	C	128	1	2	

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██████████ - Apartment Deck Repair Assessment
██████████, Santa Cruz, California

11/02/09

Summary Table by Rating - Section II of IV

Page 11 of 11

Rating: 5

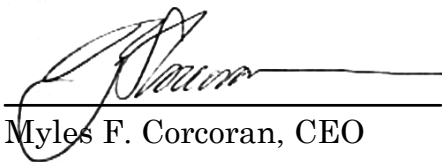
Count(Rating): 75

MFC #	Bldg.	Unit	Floor	Rating	Comment
166	C	305	3	5	Beam and bottom plate decay. Nails protruding from decking. Quarter-round trim installed at deck-to-wall, all is decayed.
169	D	103	1	5	Extensive post and wall decay.
171	D	105	1	5	Extensive post decay.
173	D	107	1	5	Extensive decay in adjoining wall.
176	D	110	1	5	Extensive post decay.
177	D	111	1	5	Extensive decay to post, attached wall is very loose.
179	D	113	1	5	Extensive decay to post, attached wall is very loose.
191	D	205	2	5	Extensive beam decay.
193	D	207	2	5	Entire joist system shows decay. Nails protruding from decking.
196	D	210	2	5	Extensive decay to support post.
197	D	211	2	5	Loose decking boards, Removed vent, found bottom plate decay. Removed 1" x 8" beam cap to inspect bottom plate and wall.
199	D	213	2	5	Removed trim at beam to expose rot. Extensive beam decay.
204	D	218	2	5	Entire beam is covered by trim, this is not typical throughout the complex. Termite decay in ledgers, joists and beam.
205	D	219	2	5	Significant evidence of termites, both at underside and top of deck.

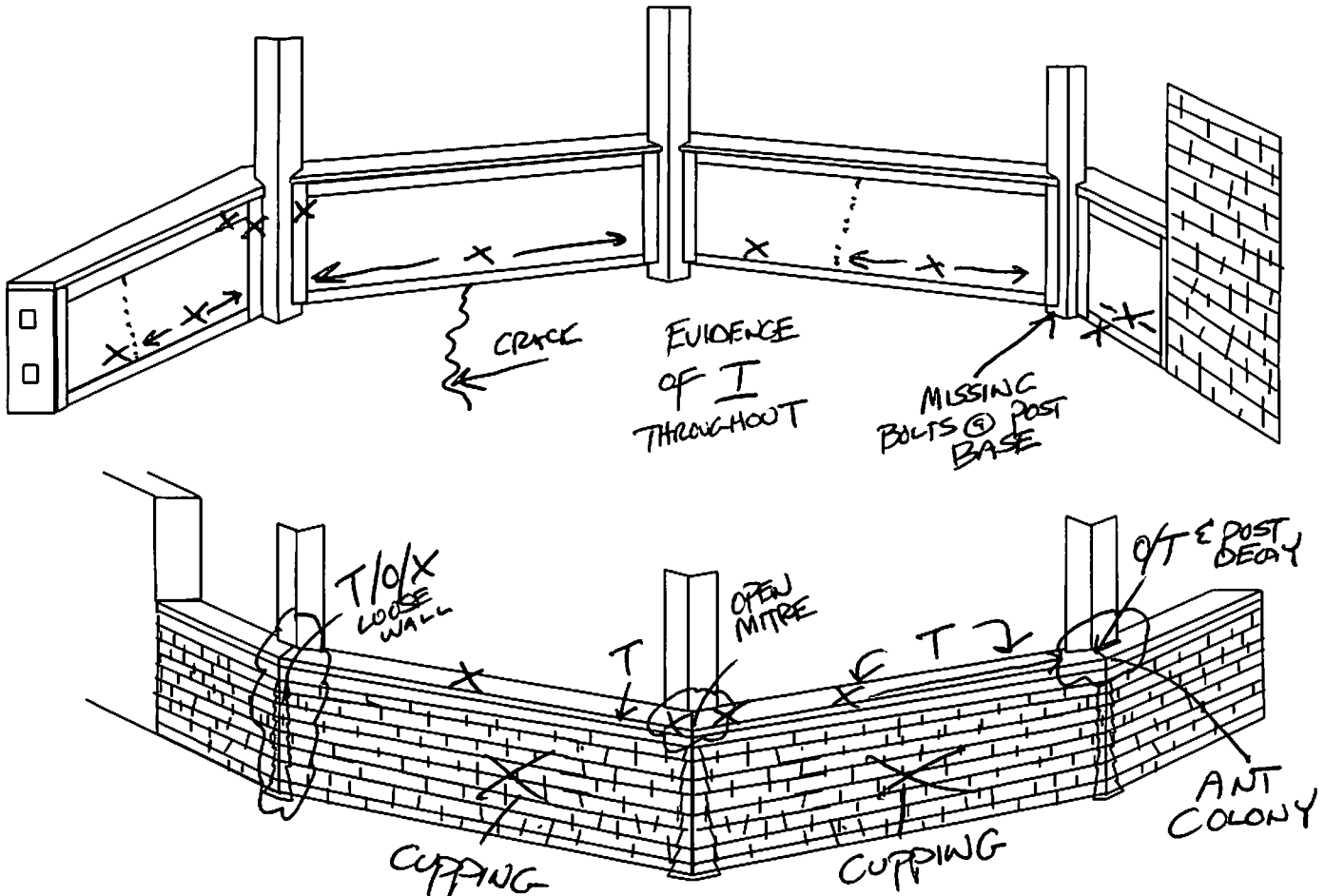
Limitations and Assumptions to the Report Per Section I



Daniel Alcocer
Inspector/Consultant I



Myles F. Corcoran, CEO



Use following key to indicate in the diagram above location and type of damage.

INSPECTED (Check):

Hardware / Metal:

- Post Base
- Joist Hangars
- Beam to Post Hangar
- Vents at Beam
- Ventilation holes @ wall bottom plate (check with mirror or by feel)
- Deck to Wall Flashing
- Flashing at Deck exterior
- Flashing behind ledger / over sidewall shingles

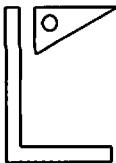
Framing:

- Joist Ledger
- Joists
- Posts
- Beam
- Wall (check bottom plate for rot with mirror)

- R - Severely Rusted Metal**
- X - Decay Finishes**
- O - Decay Framing**
- T - TERMITES**
- _____
- _____

Finishes:

- Sidewall shingles / @ exterior Wall Cap
- Plywood siding / @ interior (stains, decay @ bottom piece of trim)
- Trim
- Glass Handrail Frame
- Glass Handrail
- Light Fixture
- Decking
- Decking attachments (nails ?, screws?)
- Paint / Stain
- Signs of Termites ???



MYLES F. CORCORAN
CONSTRUCTION CONSULTING, INC.

Building Understanding

200 Seventh Avenue, Suite 230, Santa Cruz, CA 95062
Phone (831) 476-4502 Fax (831) 476-2732 - CCL 60351

Lower Deck ISP Checklist:

Date: 10/22/09 IC: TB

Bldg.: A Unit 106

Scale: _____ = _____ None Rough _____

Page 2 of 2

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Lower corner solid railing (left long wall) and

0

1

2

3

4

Deck Type (check all that apply): 1st 2nd or 3rd floor Glass Rails Protrudes from bldg.

Joined to next deck over Light Fixture Btwn Units Sign of Recent Work (note below)

Comments:

1: Minor or No Repairs recommended. 2: Minor Finish Carpentry Repairs recommended.
3: Moderate Finish Carpentry & Minor Framing Repairs recommended. 4: Major Finish Carpentry & Moderate Framing Repairs recommended. 5: Immediate, Major, Finish Carpentry & Framing Repairs recommended.

Rating: 5

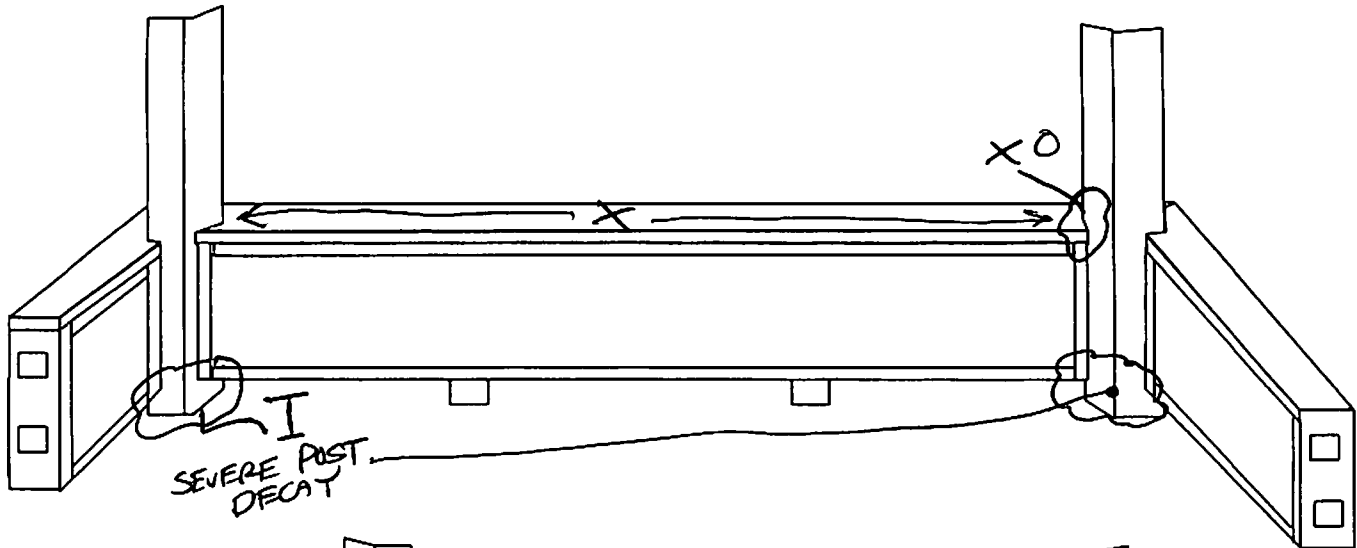
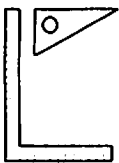


Figure 1 - Interior

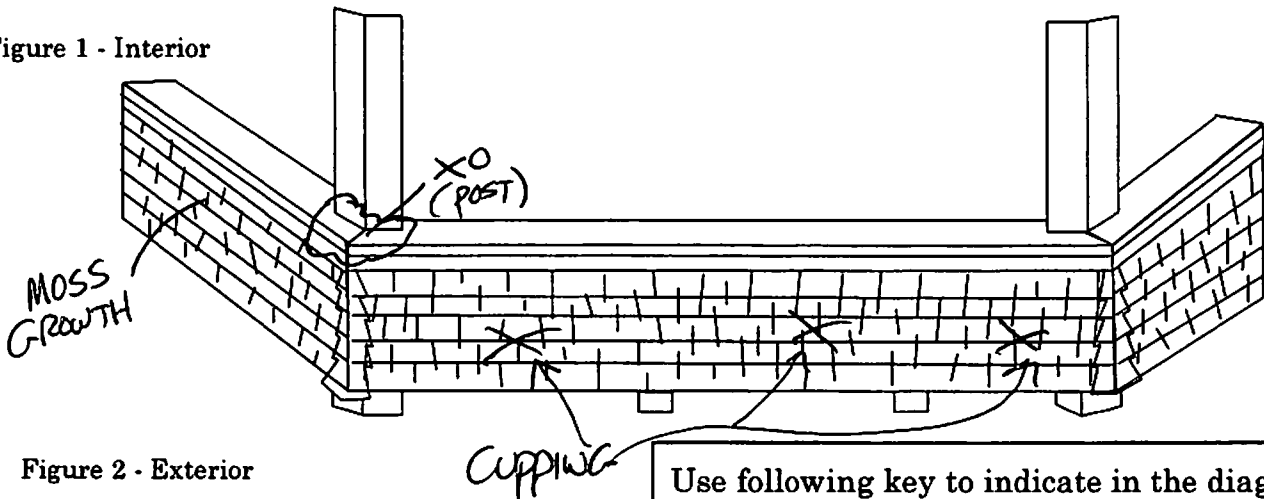


Figure 2 - Exterior

Use following key to indicate in the diagram above location and type of damage.

INSPECTED (Check):

Hardware / Metal:

- Post Base
- Joist Hangars
- Beam to Post Hangar
- Vents at Beam
- Ventilation holes @ wall bottom plate (check with mirror or by feel)
- Deck to Wall Flashing
- Flashing at Deck exterior
- Flashing behind ledger / over sidewall shingles

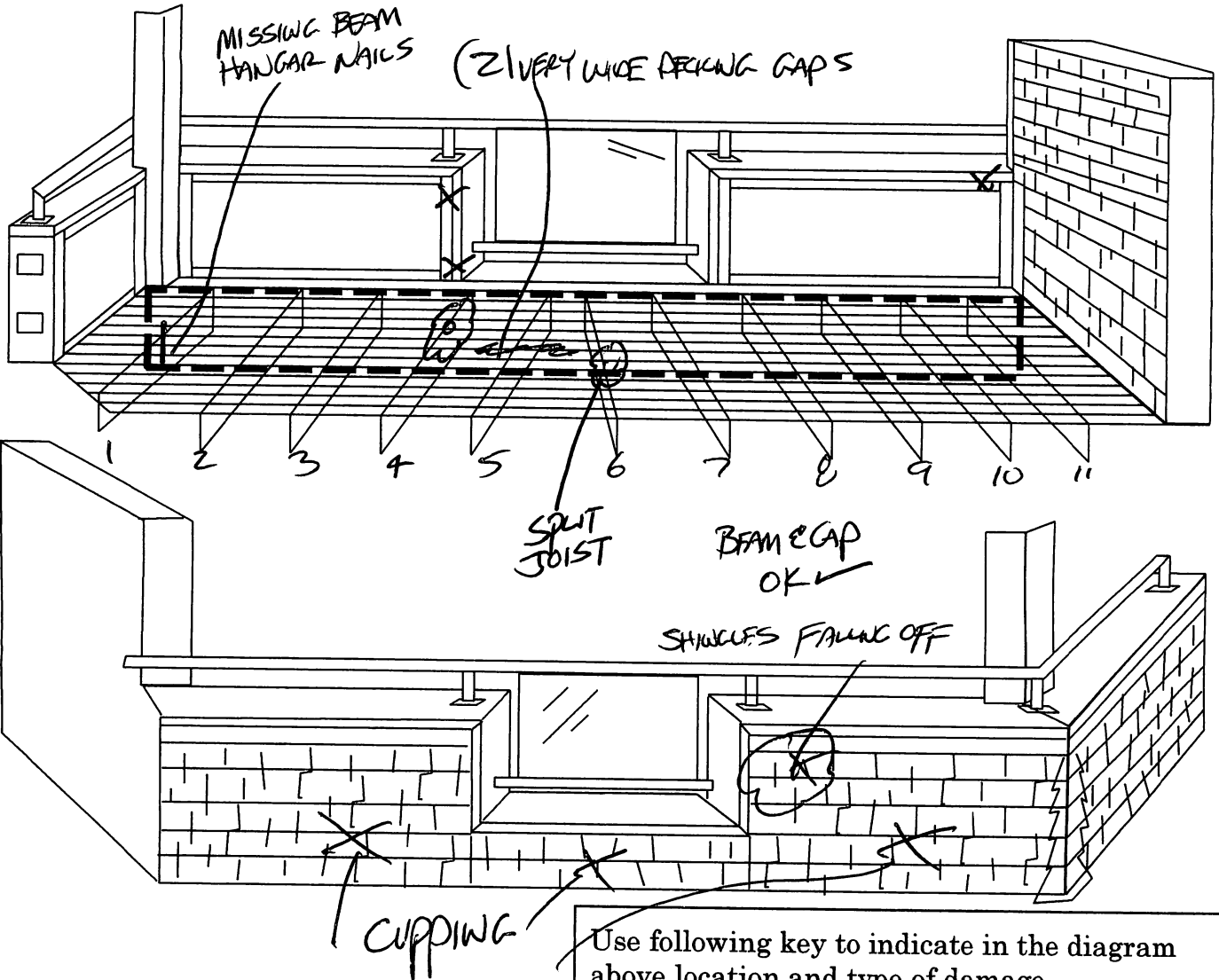
Framing:

- Joist Ledger
- Joists
- Posts
- Beam
- Wall (check bottom plate for rot with mirror)

- R - Severely Rusted Metal
- X - Decay Finishes
- O - Decay Framing
- T - TERMITES
- _____
- _____

Finishes:

- Sidewall shingles / @ exterior Wall Cap
- Plywood siding / @ interior (stains, decay @ bottom piece of trim)
- Trim
- Glass Handrail Frame
- Glass Handrail
- Light Fixture
- Decking
- Decking attachments (nails ?, screws?)
- Paint / Stain
- Signs of Termites ???



Use following key to indicate in the diagram above location and type of damage.

- R - Severely Rusted Metal
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- O - Decay Framing

INSPECTED (Check):
Hardware / Metal:

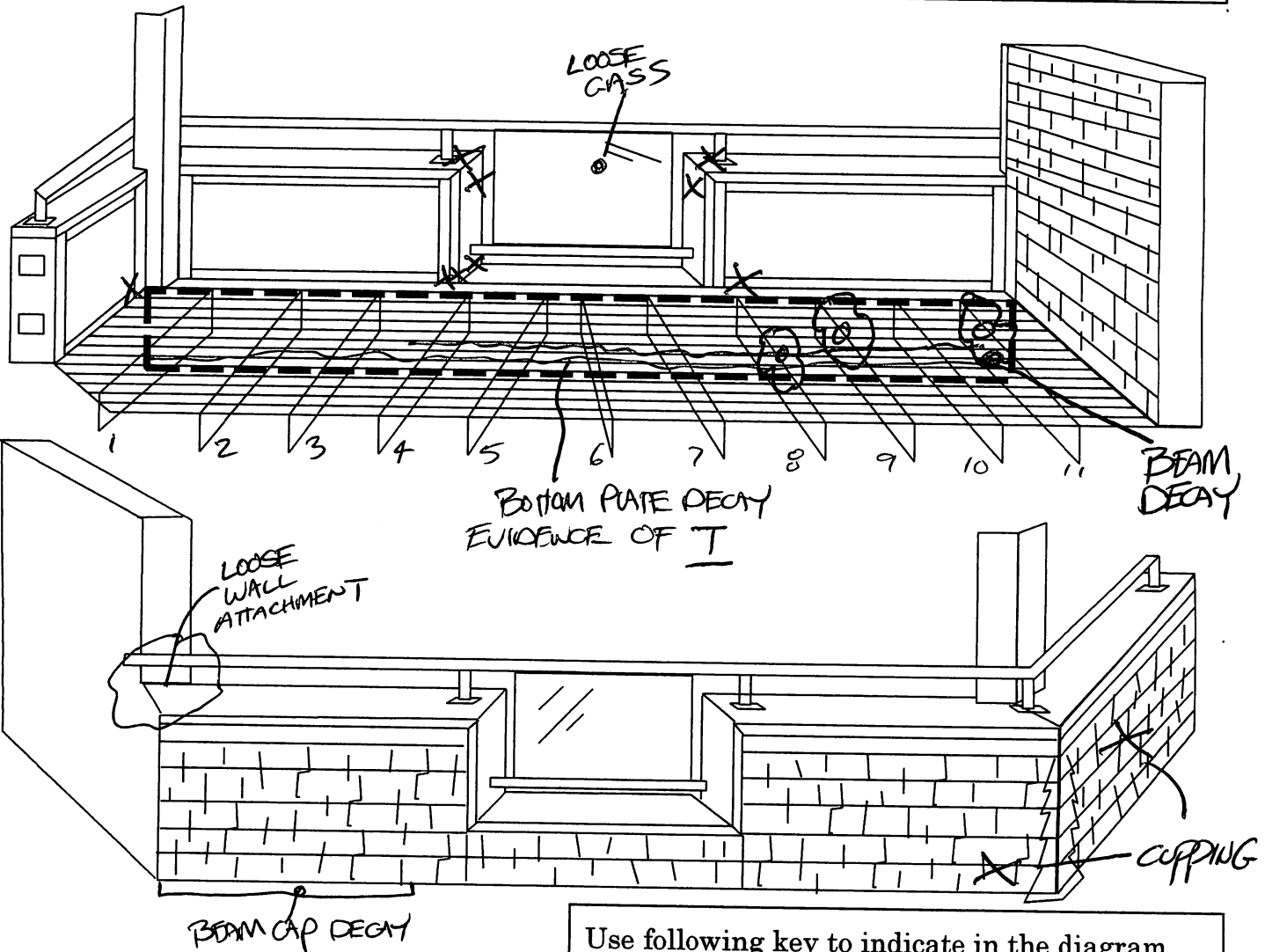
- Post Base
- Joist Hangars
- Beam to Post Hangar
- Vents at Beam
- Ventilation holes @ wall bottom plate (check with mirror or by feel)
- Deck to Wall Flashing
- Flashing at Deck exterior
- Flashing behind ledger / over sidewall shingles

Framing:

- Joist Ledger
- Joists
- Posts
- Beam
- Wall (check bottom plate for rot with mirror)

Finishes:

- Sidewall shingles / @ exterior Wall Cap
- Plywood siding / @ interior (stains, decay @ bottom piece of trim)
- Trim
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- R - Severely Rusted Metal
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- I TERMITES
- _____
- _____

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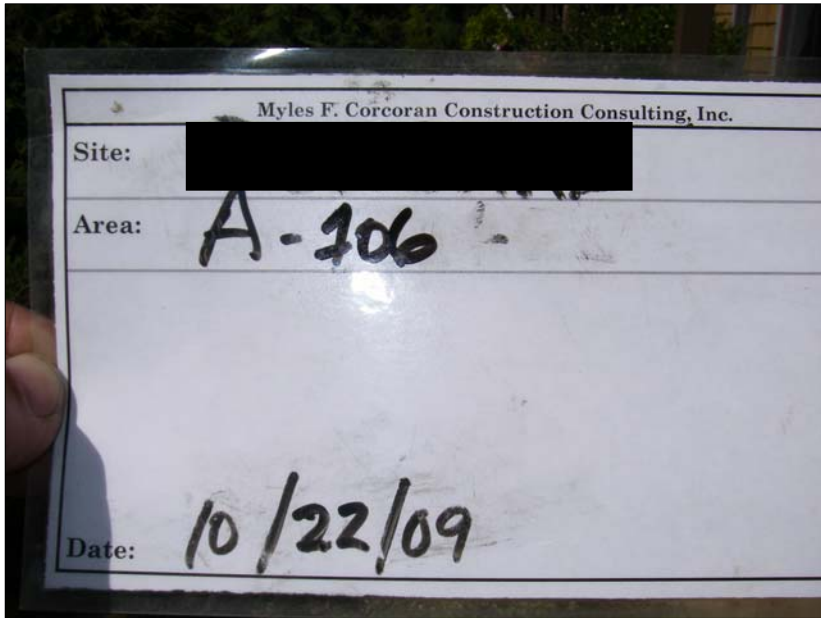
Framing:

- Joist Ledger
- Joists
- Posts
- Beam
- Wall (check bottom plate for rot with mirror)

Finishes:

- Sidewall shingles / @ exterior Wall Cap
- Plywood siding / @ interior (stains, decay @ bottom piece of trim)
- Trim
- Glass Handrail Frame
- Glass Handrail
- Light Fixture
- Decking
- Decking attachments (nails ?, screws?)
- Paint / Stain
- Signs of Termites ???

Apartment Deck Repair Assessment - Section IV (Abridged Sample of Photos)



1



2



3



4

Apartment Deck Repair Assessment - Section IV (Abridged Sample of Photos)



5



6

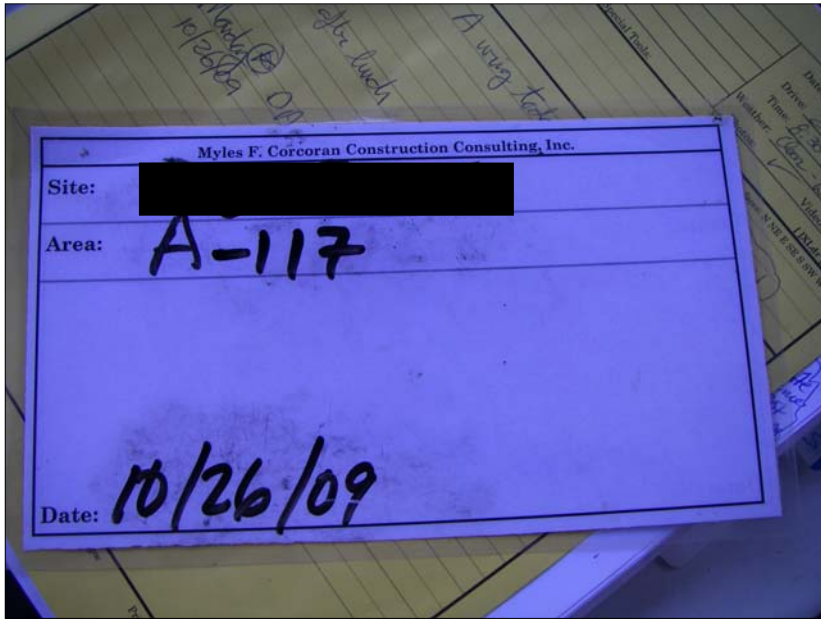


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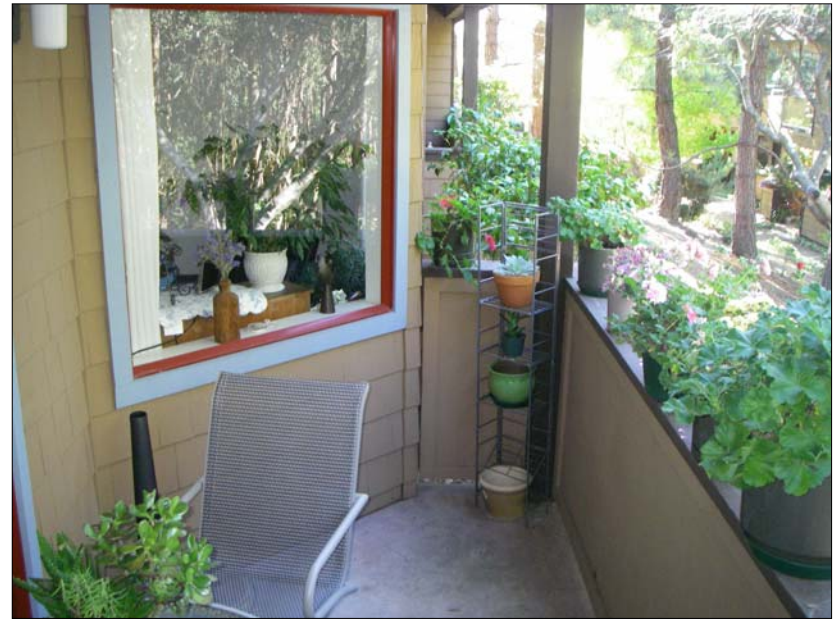


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Apartment Deck Repair Assessment - Section IV (Abridged Sample of Photos)



9



10



11



12

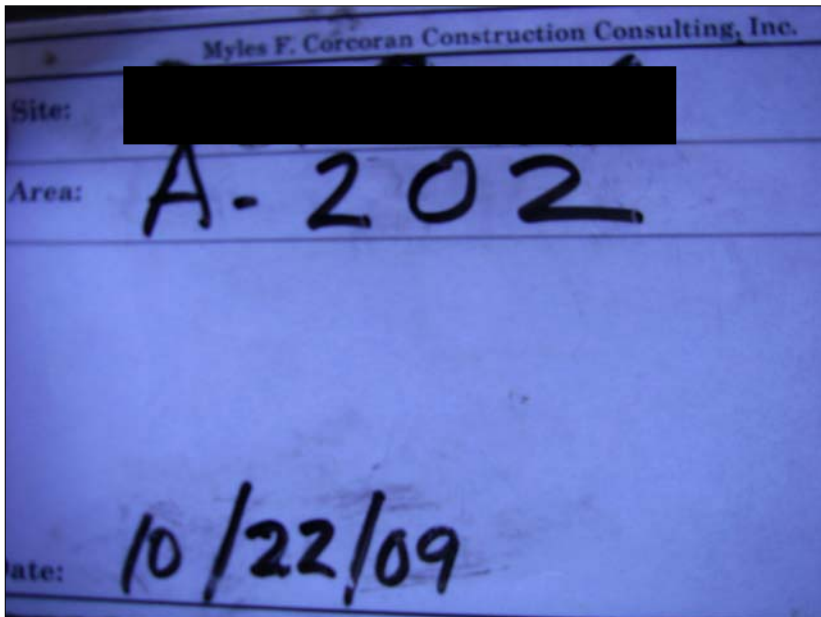
Apartment Deck Repair Assessment - Section IV (Abridged Sample of Photos)



13



14



15



16

Apartment Deck Repair Assessment - Section IV (Abridged Sample of Photos)



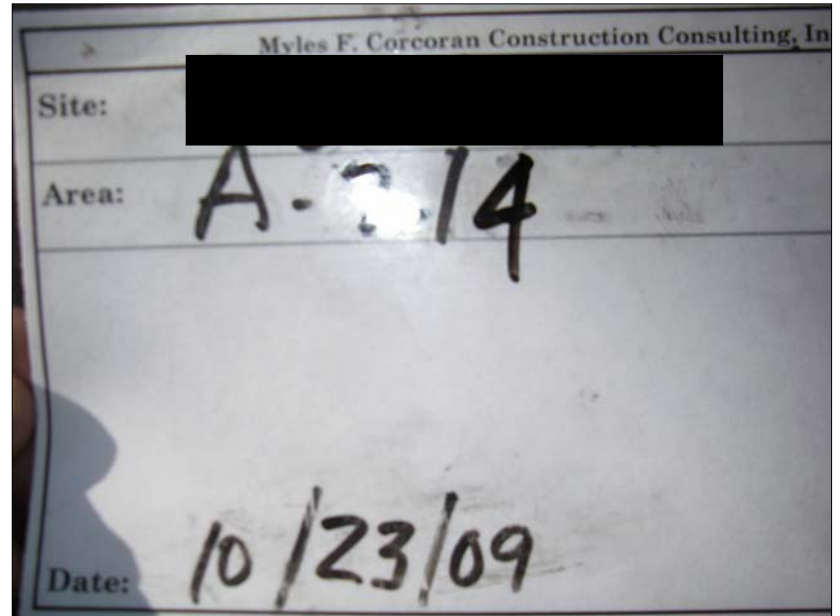
17



18



19



20

Apartment Deck Repair Assessment - Section IV (Abridged Sample of Photos)



21



22



23



24